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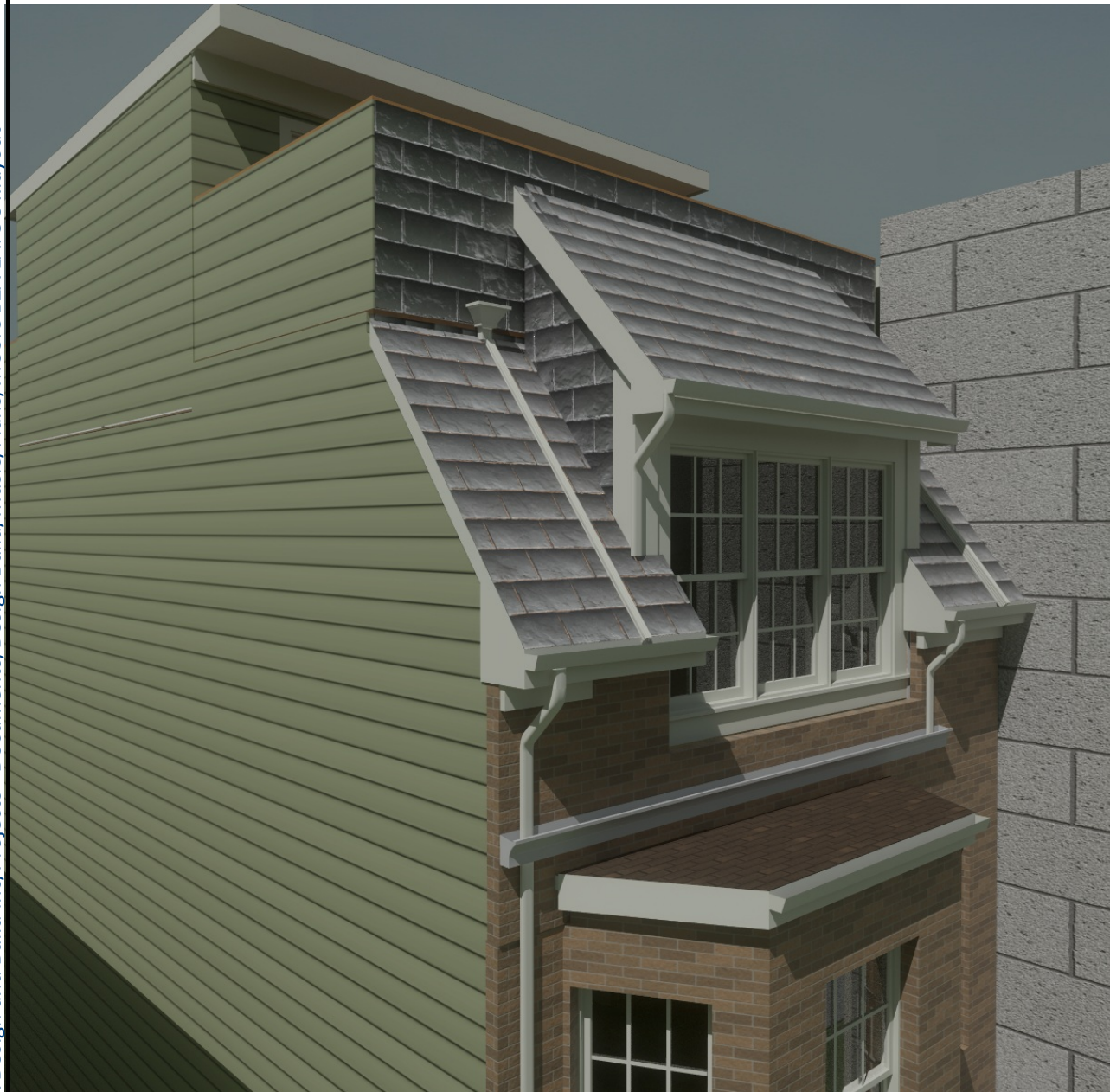
ZONING REVIEW

Zoning Information

Zone	RF-1		
Front Setback	Existing		
Rear Setback	20'		
Height	35'		
Lot Occupancy	60%		
Floor Area	Existing	Proposed Increase	%
Basement	0	0	0
First Floor	25	25	0
Second Floor	950	950	0
Third	790	925	17%
Penthouse	263	263	0
Totals	1966	2163	8.4%

Drainage Information

There is no change to impervious surfaces
NO DRAINAGE IMPROVEMENTS ARE INCLUDED IN THIS APPLICATION



PROJECT DESCRIPTION

Existing Structure
 - Modify existing dormers to create single shed dormer with accessible windows.

PERMIT FEE CALCULATIONS

Floor	Alteration	Addition
Basement	0 sf	
First Floor	0 sf	
Second Floor	0sf	
Third Floor	0 sf	
Penthouse	0 sf	
Totals	0 sf	

CODE NOTES

All work to be in accordance with 2017 DC building, electrical, mechanical and plumbing Codes and IECC, As published and amended for DC by the International Residential Code. All chapters, tables, sections, figures and appendices are from the 2015 IRC.

RESIDENTIAL CODE PARAMETERS

Ground Snow Load	30 PSF
Design Wind Speed	115 MPH
Seismic Category	B
Weathering	Severe
Frost Line Depth	30 inches
Termite	Moderate to Heavy
Decay	Slight to Moderate
Winter Design Temperature	13 F
Ice Shield Underlayment	Required
Flood Hazards	July 2, 1979
Air Freezing Index	300
Mean Annual Temperature	55 F
Soil Bearing Capacity	2000PSF

DESIGN LOADS

Uninhabitable attic without storage	10PSF
Uninhabitable attic with limited storage	20PSF
Habitable Attic with stairs	30PSF
Balconies and Fire Escapes	40PSF
Guardrails and Handrails	200lb lateral
Passenger Garage	50PSF
Rooms other than Sleeping	40 PSF
Sleeping Rooms	30PSF
Stairs	40PSF

INDEX OF DRAWINGS

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3300 PLYERS MILL ROAD
 KENSINGTON, MD 20895
 301-946-2356
 MHIC LICENSE #: 38984
 DC LICENSE #: 50004406



Client Information

MUSIC RESIDENCE
 206 P ST NW #2
 WASHINGTON, DC 20001

Project Description

NEW DORMER ON MANSARD ROOF TO REPLACE (2) EXISTING DORMERS. INTERIOR ALTERATIONS, INCLUDING NEW KITCHEN CABINETS AND ENCLOSING DOUBLE HEIGHT SPACE.



Cover Sheet

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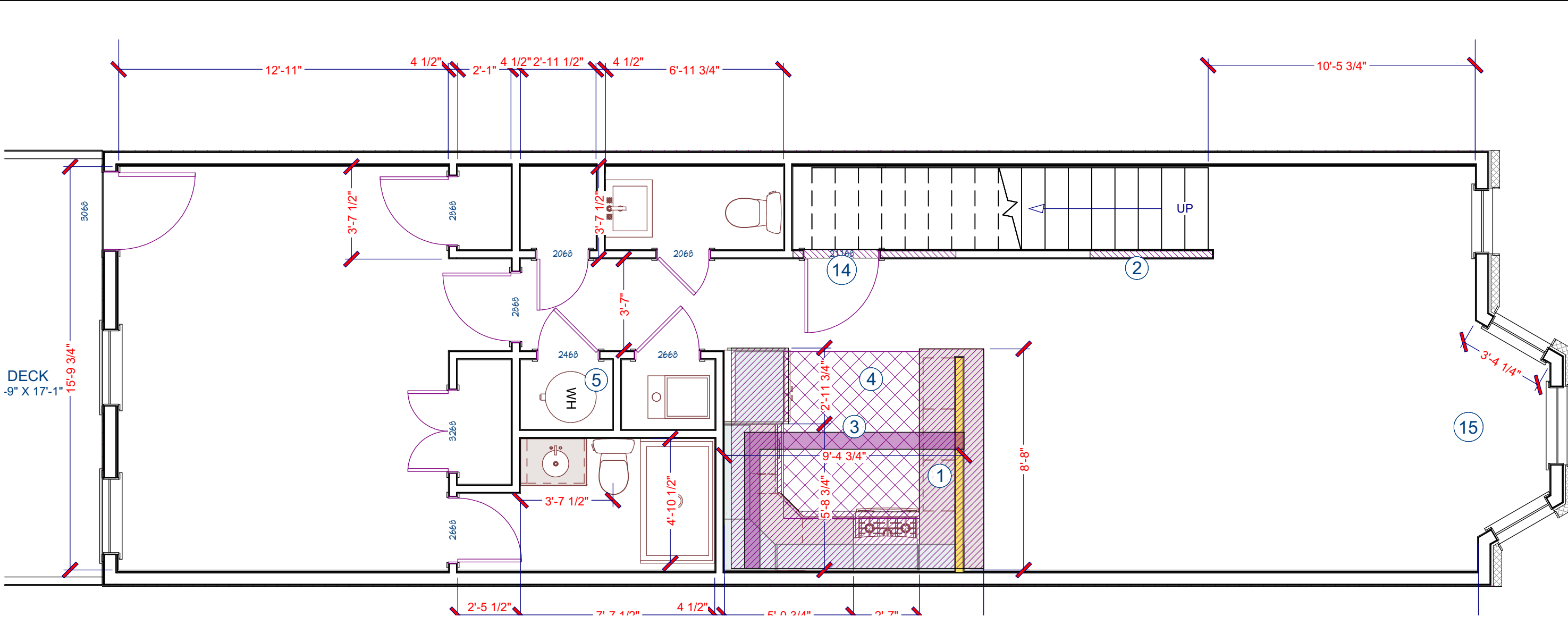
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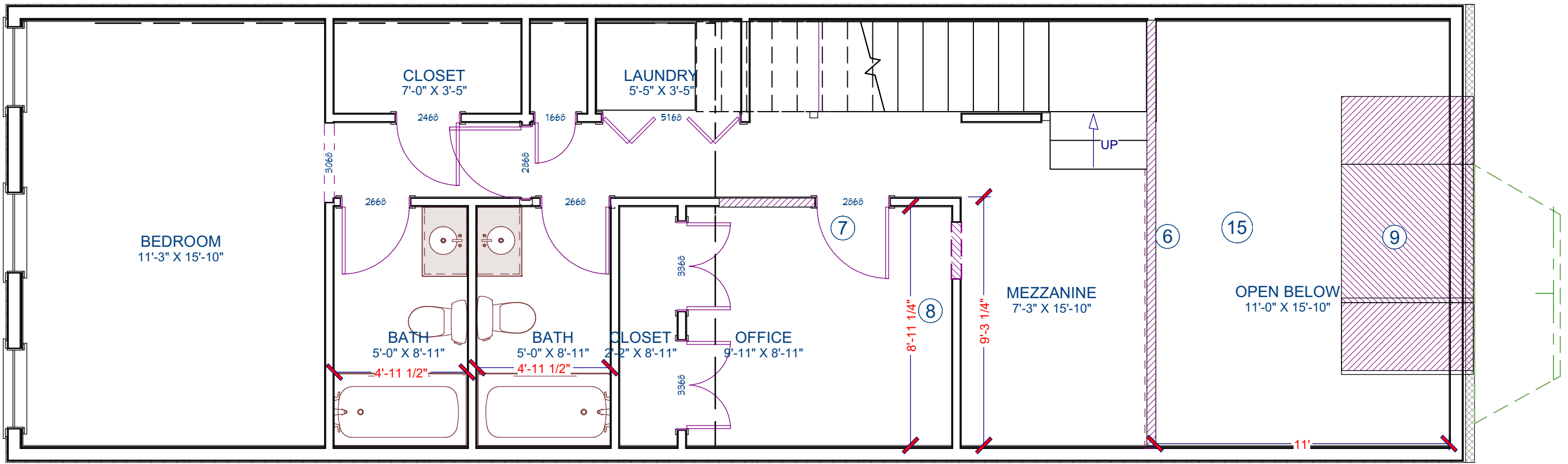
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Board of Zoning Adjustment
 District of Columbia
 CASE NO.20777
 EXHIBIT NO.4

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EXISTING/ DEMO SECOND FLOOR PLAN
 1/4 in = 1 ft



EXISTING/DEMO THIRD FLOOR PLAN
 1/4 in = 1 ft

Note Schedule	
①	DEMO ALL FIXTURES FINISHES AND FITTINGS IN THIS AREA. REMOVE COUNTERS AND PENDANT LIGHTING.
②	DEMO STAIR WALL AS PER PROPOSED ELEVATION DRAWING. CHECK WITH DESIGNERS TO DETERMINE EXTENT OF DEMO AS EXISTING RAIL SECTIONS WILL BE USED TO FILL OUT THE OPENINGS IN FINAL.
③	DEMO SUBFLOOR IN THIS AREA TO PREP FOR NEW WASTE LINE. DETERMINE NEW SINK LOCATION PRIOR TO CUTTING.
④	DEMO FINISH FLOORING BETWEEN CABINETS. REMOVE WITH CARE AND SAVE FLOORING WHERE POSSIBLE.
⑤	PLUMBER SHALL DEMO HOT WATER HEATER AND PREP FOR NEW TANKLESS HEATER.
⑥	REMOVE EXISTING STAINLESS STEEL RAIL AND PREPARE FOR MODIFICATION AND RE-USE.
⑦	DEMO DOOR AND PREP FOR NEW POCKET DOOR IN NEW LOCATION.
⑧	DEMO WINDOW.
⑨	DEMO EXISTING DORMERS AND ROOF BETWEEN AND PREP FOR NEW.
⑩	DEMO EXISTING DOOR AND INVESTIGATE FLASHING, REPAIR WHERE NECESSARY AND INSTALL NEW.
⑪	DEMO ENTRY DOOR AND PREP FOR NEW.
⑫	DEMO DOOR JAMB.
⑬	DEMO ALL TILE FLOORING IN ENTRY WAY, PREP FOR NEW.
⑭	DEMO STAIR WALL AS PER PROPOSED ELEVATION DRAWING, APPROX. 4'-5\".
⑮	PROTECT EXISTING SPRINKLER HEAD IN WORK AREA.



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Existing and Demolition Plan

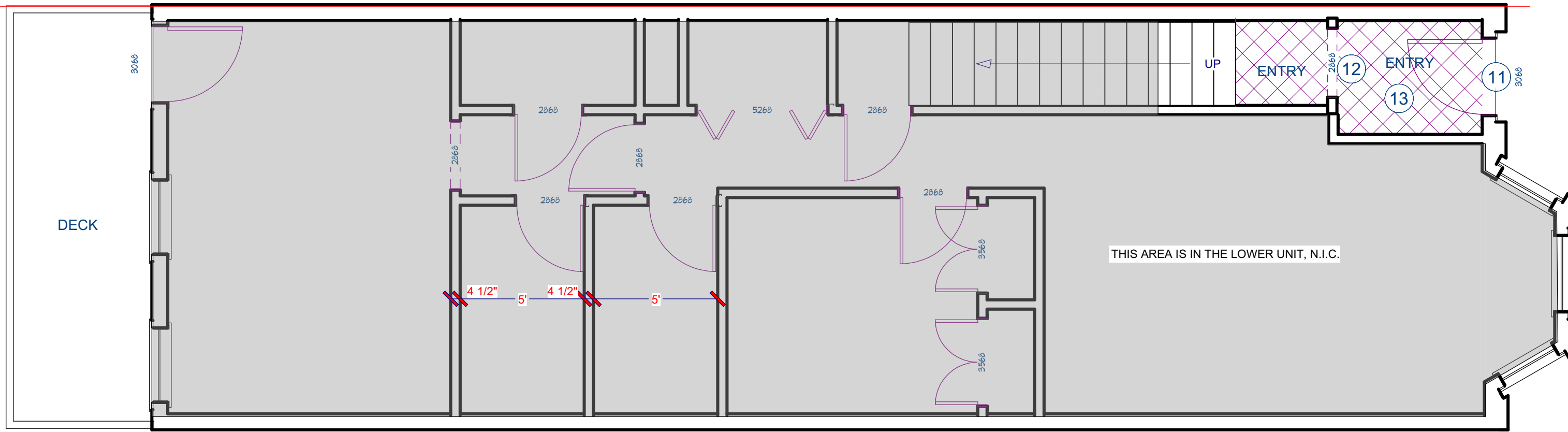
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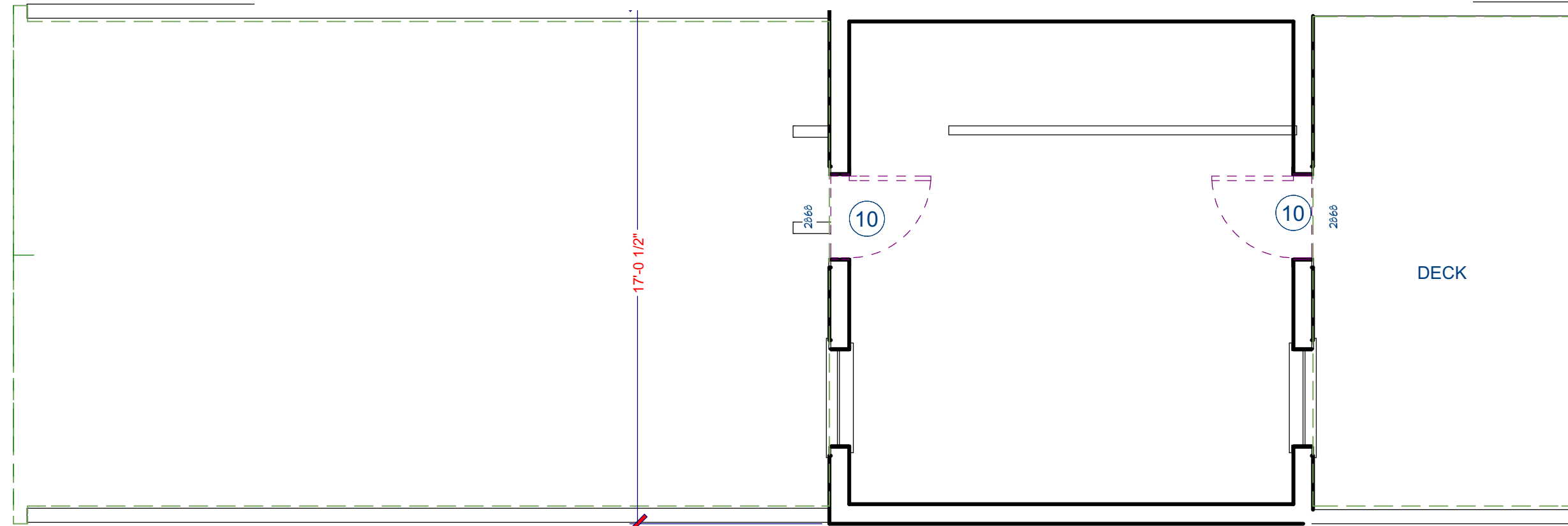
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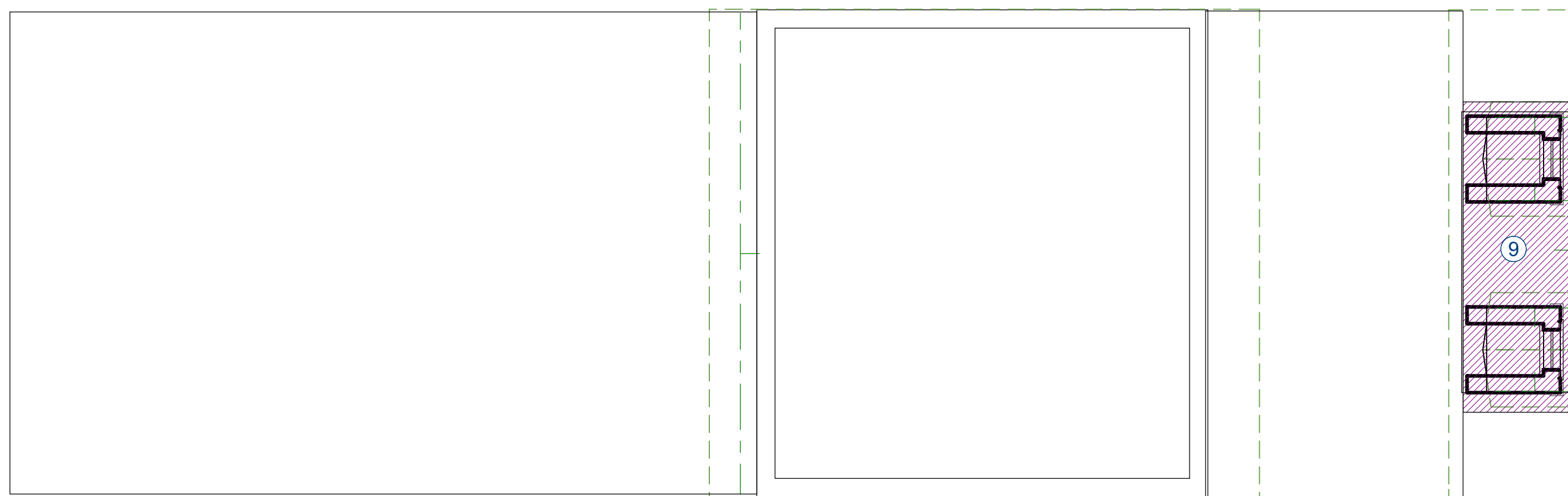
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PROPOSED FIRST FLOOR (ENTRY) AS-BUILT /DEMO PLAN
1/4 in = 1 ft



PROPOSED PENTHOUSE AS-BUILT/ DEMO PLAN
1/4 in = 1 ft



PROPOSED ROOF DEMO PLAN
1/4 in = 1 ft

Note Schedule	
①	DEMO ALL FIXTURES FINISHES AND FITTINGS IN THIS AREA. REMOVE COUNTERS AND PENDANT LIGHTING.
②	DEMO STAIR WALL AS PER PROPOSED ELEVATION DRAWING. CHECK WITH DESIGNERS TO DETERMINE EXTENT OF DEMO AS EXISTING RAIL SECTIONS WILL BE USED TO FILL OUT THE OPENINGS IN FINAL.
③	DEMO SUBFLOOR IN THIS AREA TO PREP FOR NEW WASTE LINE. DETERMINE NEW SINK LOCATION PRIOR TO CUTTING.
④	DEMO FINISH FLOORING BETWEEN CABINETS. REMOVE WITH CARE AND SAVE FLOORING WHERE POSSIBLE.
⑤	PLUMBER SHALL DEMO HOT WATER HEATER AND PREP FOR NEW TANKLESS HEATER.
⑥	REMOVE EXISTING STAINLESS STEEL RAIL AND PREPARE FOR MODIFICATION AND RE-USE.
⑦	DEMO DOOR AND PREP FOR NEW POCKET DOOR IN NEW LOCATION.
⑧	DEMO WINDOW.
⑨	DEMO EXISTING DORMERS AND ROOF BETWEEN AND PREP FOR NEW.
⑩	DEMO EXISTING DOOR AND INVESTIGATE FLASHING, REPAIR WHERE NECESSARY AND INSTALL NEW.
⑪	DEMO ENTRY DOOR AND PREP FOR NEW.
⑫	DEMO DOOR JAMB.
⑬	DEMO ALL TILE FLOORING IN ENTRY WAY, PREP FOR NEW.



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EXISTING/ DEMO THIRD FLOOR AND ROOF PLAN

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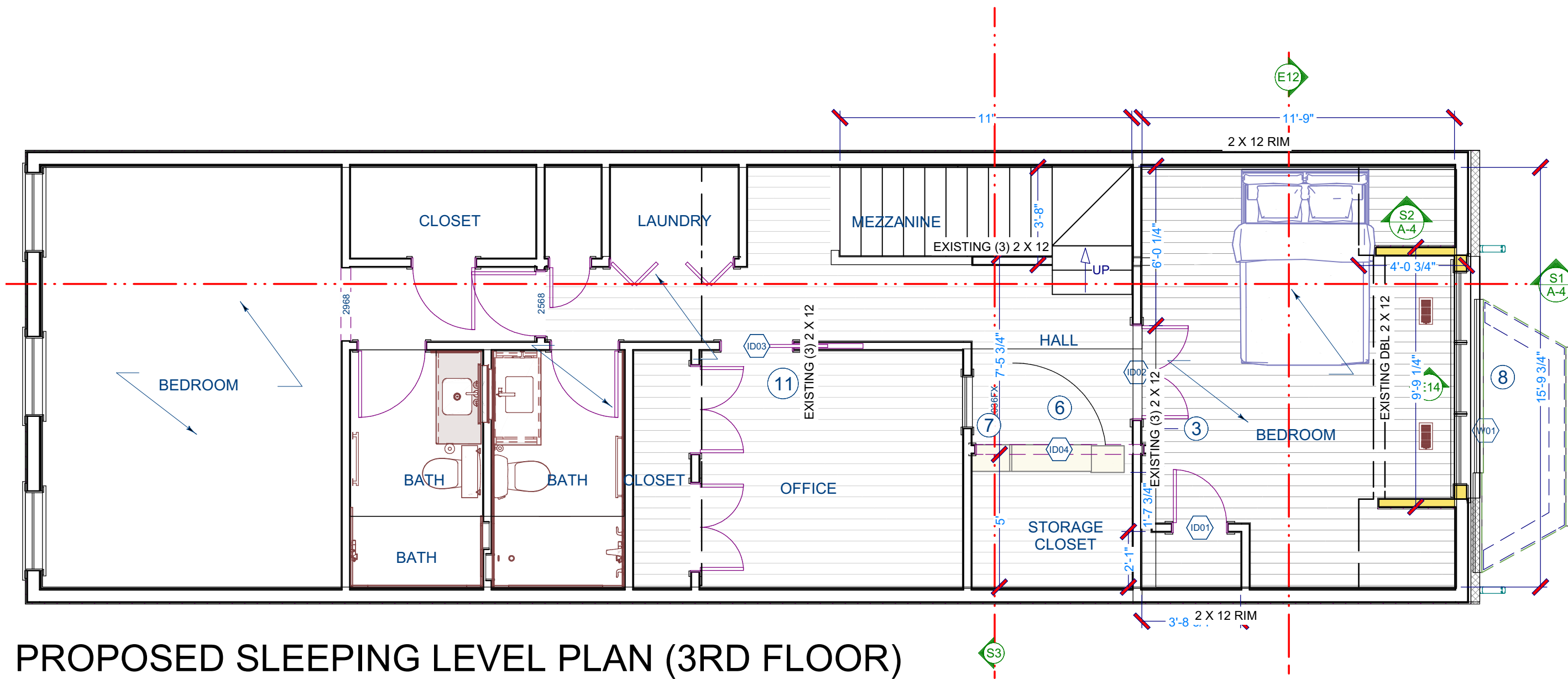
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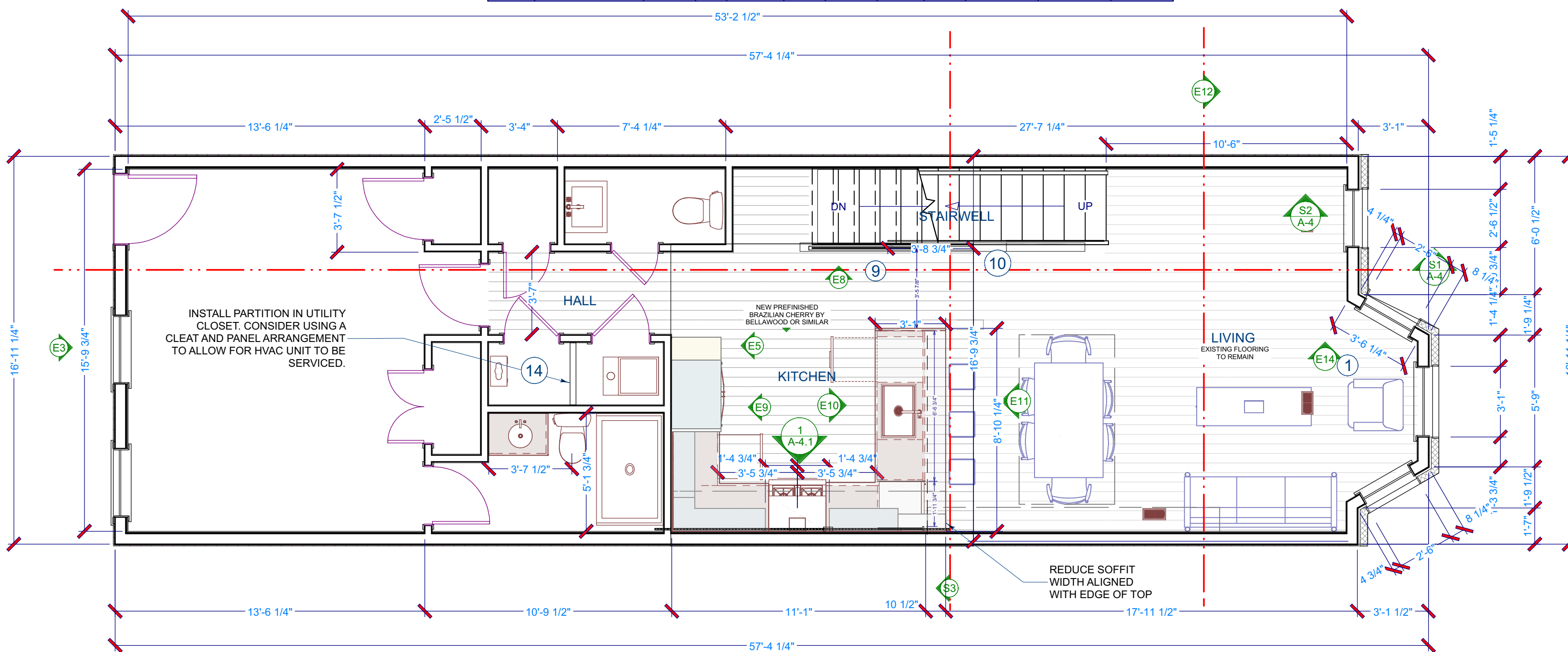
Note Schedule	
①	PROTECT EXISTING SPRINKLER HEAD IN WORK AREA
②	NEW DOOR FLASHING AND SILL PAN
③	NEW DOOR WITH TRANSOM
④	NEW DOOR, FLASHING AND SILL PAN
⑤	NEW ENTRY DOOR
⑥	NEW MURPHY DOOR BOOK SHELVES
⑦	NEW TEMPERED WINDOW PANE IN FIELD-BUILT FRAME
⑧	NEW TRIPLE DOUBLE HUNG WINDOW IN NEW DORMER. NEW DORMER SHALL BE FRAMED BETWEEN HEADERS OF EXISTING DORMERS.
⑨	OPEN EXISTING WALL TO ENTRY STAIRS. REUSE EXISTING RAILING FROM MEZZANINE IN THIS LOCATION. 2 SECTIONS OF RAIL MIN.
⑩	OPEN UP WALL AT STAIR TO SECOND FLOOR ABOVE RAIL HEIGHT ONLY.
⑪	RELOCATE EXISTING DOOR AND SWITCH
⑫	REMOVE EXISTING DOOR JAMB
⑬	REPLACE TILE IN ENTRY
⑭	NEW TANKLESS HOT WATER HEATER



PROPOSED SLEEPING LEVEL PLAN (3RD FLOOR)

1/4 in = 1 ft

Window Schedule											
Number	3D Exterior Elevation	Label	Floor	Width	SHGC	U-Factor	Height	Egress	Description	Manufacturer	Comments
W01		8154MU	3	96 11/16"	0.4	0.35	64"	Yes	Mulled Unit		



PROPOSED MAIN LEVEL PLAN (2ND FLOOR)

1/4 in = 1 ft



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PROPOSED SECOND AND THIRD FLOOR PLANS

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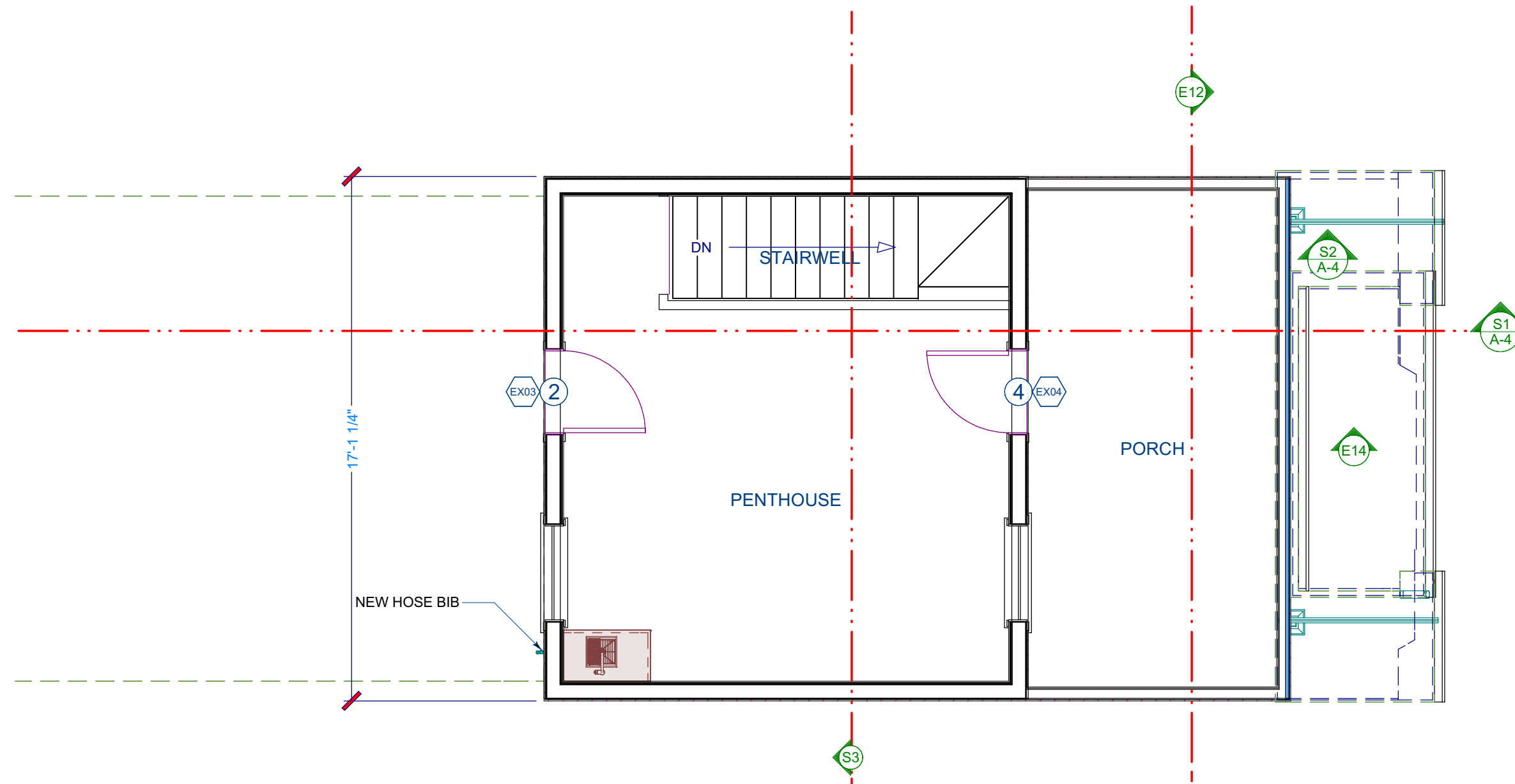
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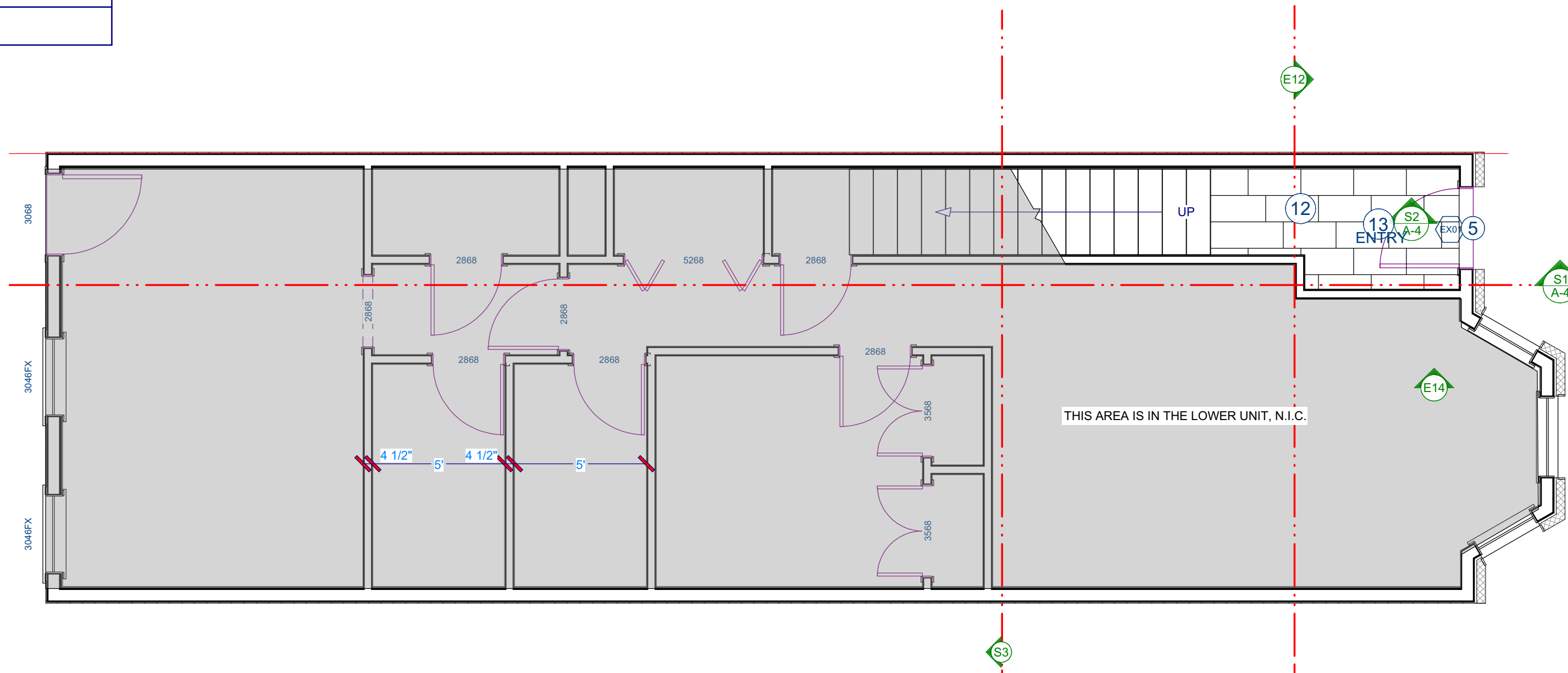
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EXTERIOR Door Schedule									
Number	3D Exterior Elevation	Qty	Room Name	Floor	Width	Height	Comments	SHGC	U-Factor
EX01		1	Entry	1	36"	80"	see thermal door designer print out	0.4	0.35
EX03		1	PENTHOUSE E	4	32"	80"		0.4	0.35
EX04		1	PENTHOUSE E/Porch	4	32"	80"		0.4	0.35

Note Schedule	
①	NEW TEMPERED WINDOW PANE IN FIELD-BUILT FRAME
②	NEW DOOR WITH TRANSOM
③	MASTER BATH SHALL HAVE ALL NEW FIXTURES AND FINISHES
④	RELOCATE SHOWER VALVE TO OTHER SIDE OF BATHROOM
⑤	WALL NICHE AROUND RELOCATED SHOWER FIXTURES
⑥	NEW MURPHY DOOR BOOK SHELVES
⑦	NEW TRIPLE DOUBLE HUNG WINDOW IN NEW DORMER. NEW DORMER SHALL BE FRAMED BETWEEN HEADERS OF EXISTING DORMERS.
⑧	NEW DOOR, FLASHING AND SILL PAN
⑨	NEW DOOR FLASHING AND SILL PAN
⑩	OPEN EXISTING WALL TO ENTRY STAIRS. REUSE EXISTING RAILING FROM MEZZANINE IN THIS LOCATION. 2 SECTIONS OF RAIL MIN.
⑪	OPEN UP WALL AT STAIR TO SECOND FLOOR ABOVE RAIL HEIGHT ONLY.
⑫	REMOVE EXISTING DOOR JAMB
⑬	POSSIBLE CUBBIES
⑭	NEW ENTRY DOOR
⑮	REPLACE TILE IN ENTRY



PROPOSED PENTHOUSE PLAN (4TH FLOOR)
1/4 in = 1 ft



PROPOSED ENTRY LEVEL PLAN
1/4 in = 1 ft



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PROPOSED FIRST FLOOR AND PENTHOUSE FLOOR PLANS

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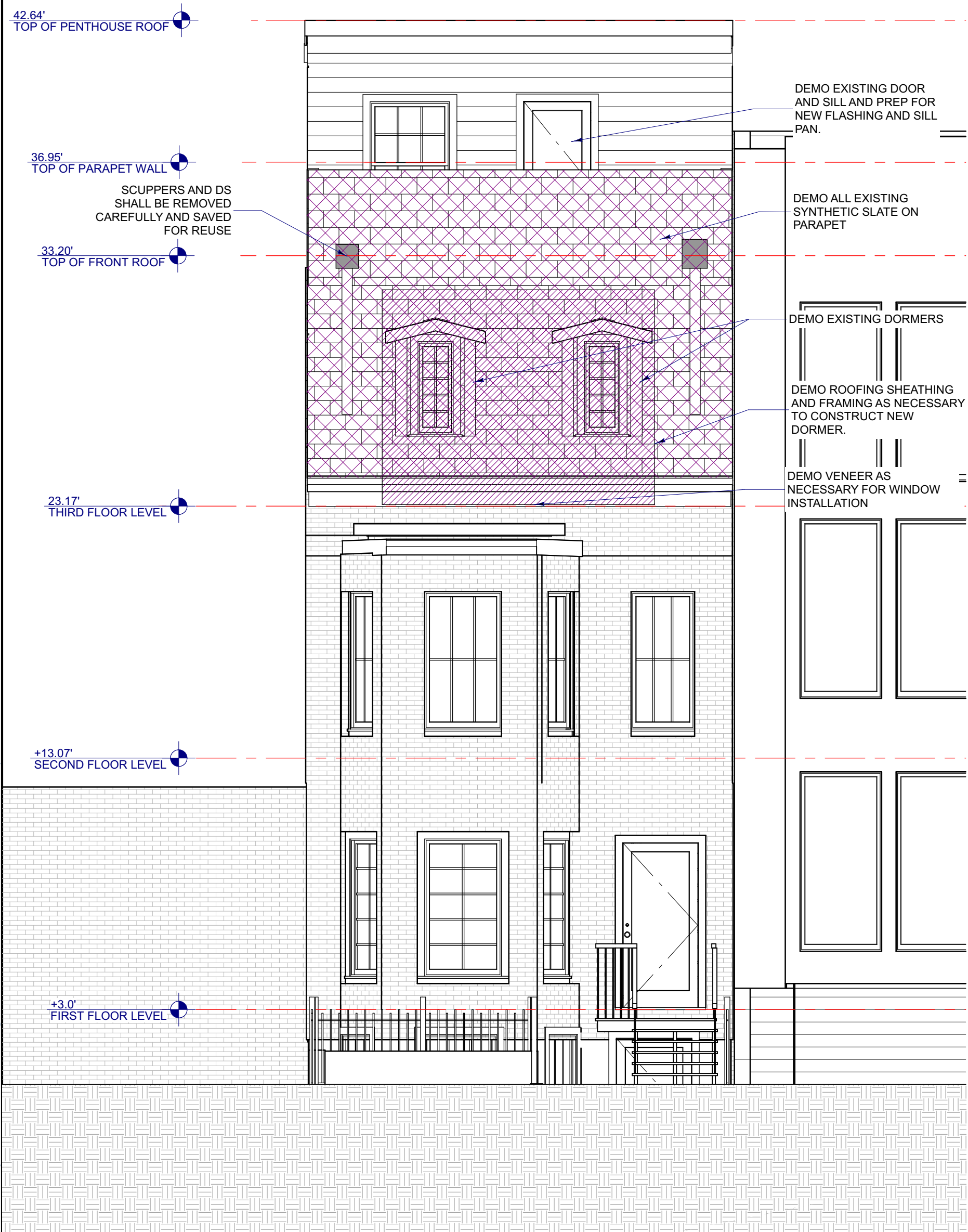
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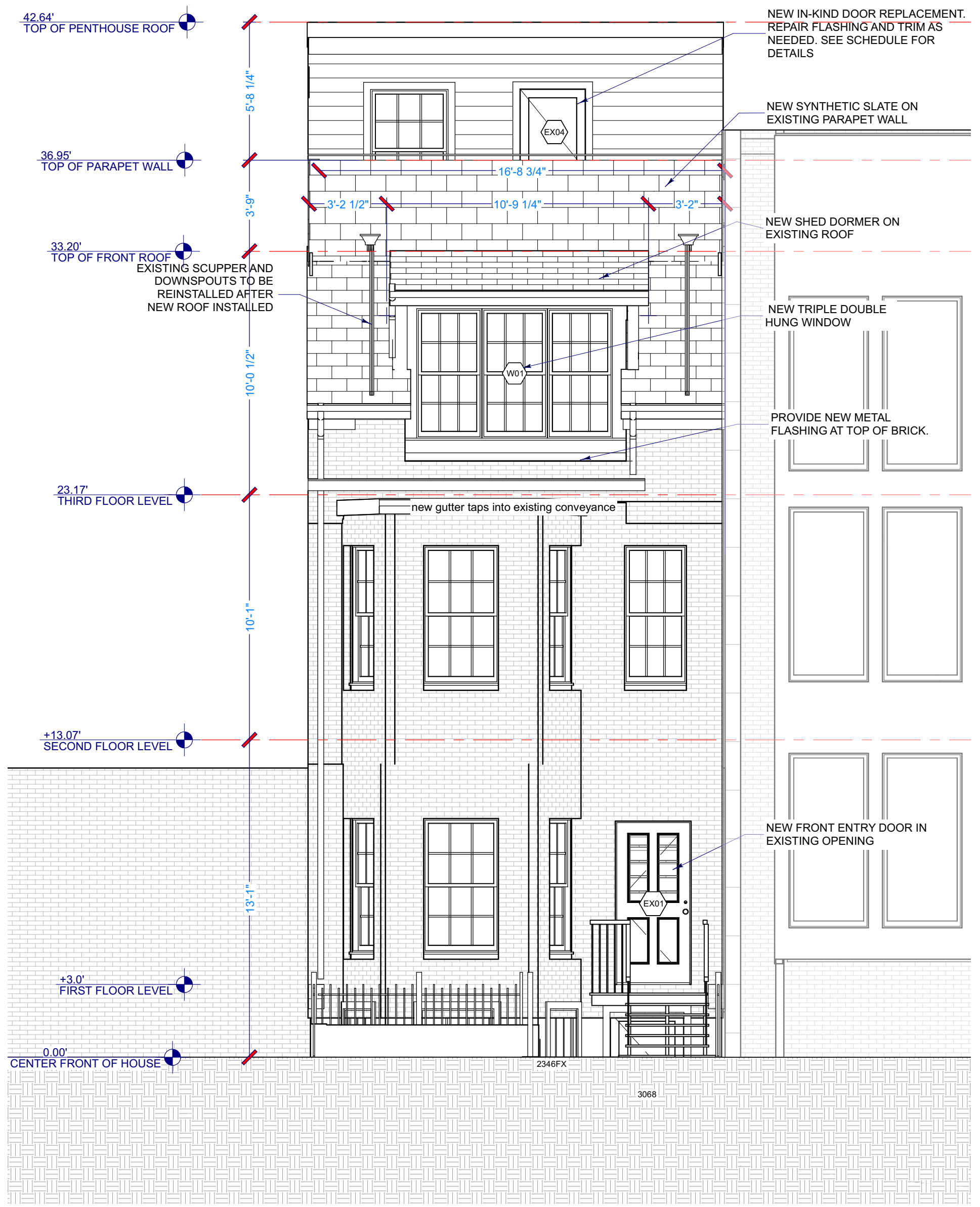
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EXISTING FRONT ELEVATION
1/4 in = 1 ft



PROPOSED FRONT ELEVATION
1/4 in = 1 ft



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PROPOSED FRONT ELEVATION

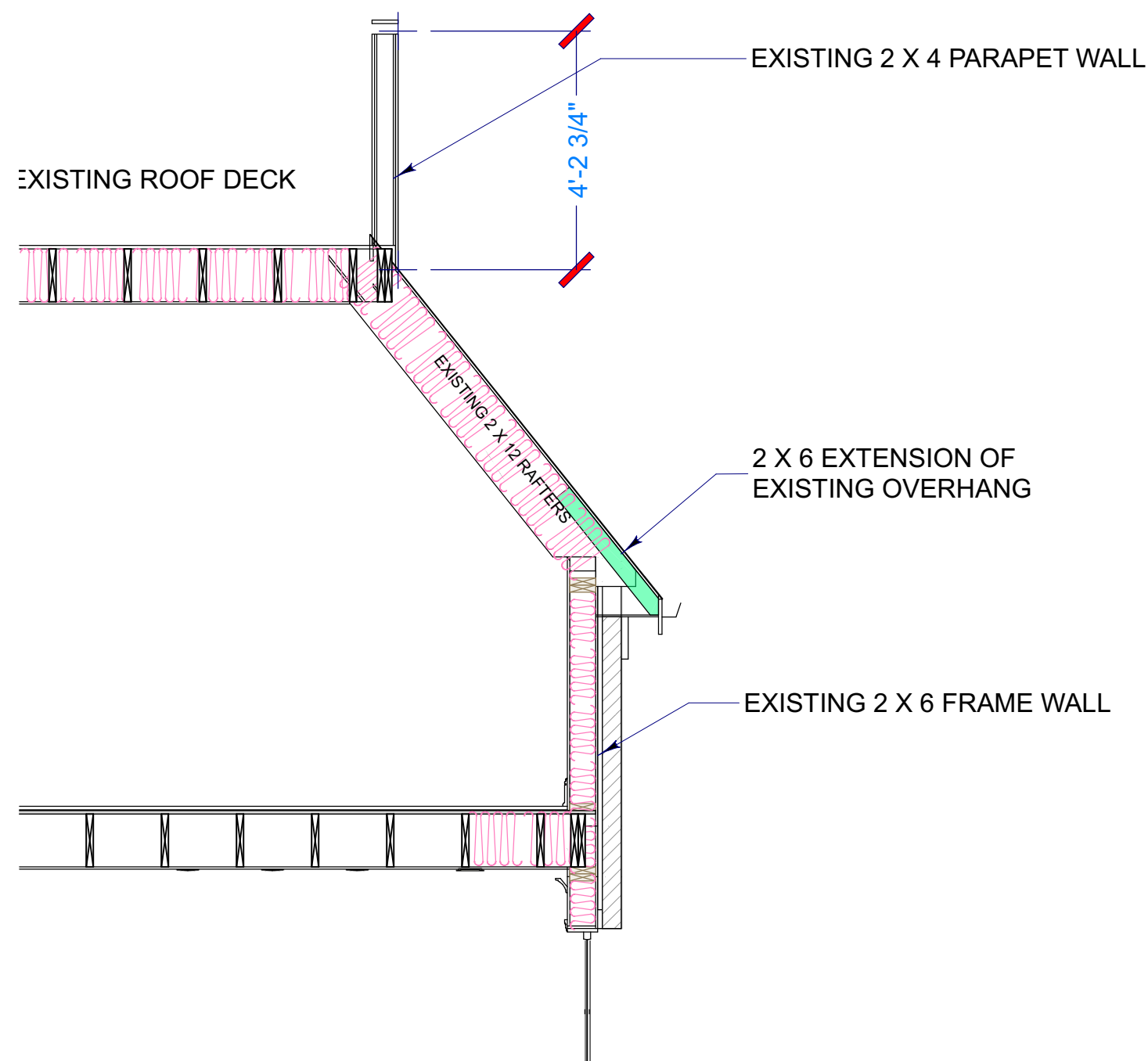
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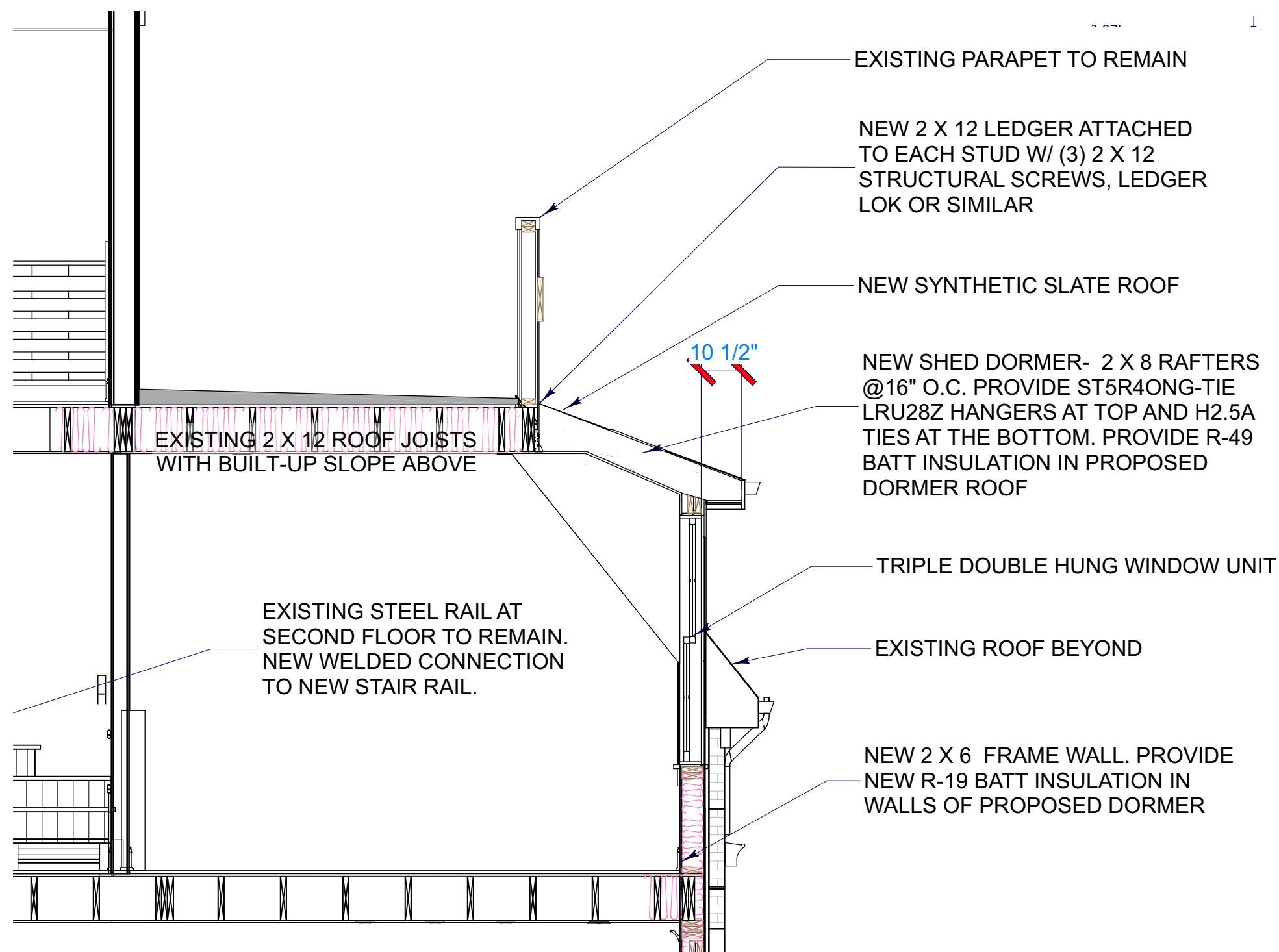
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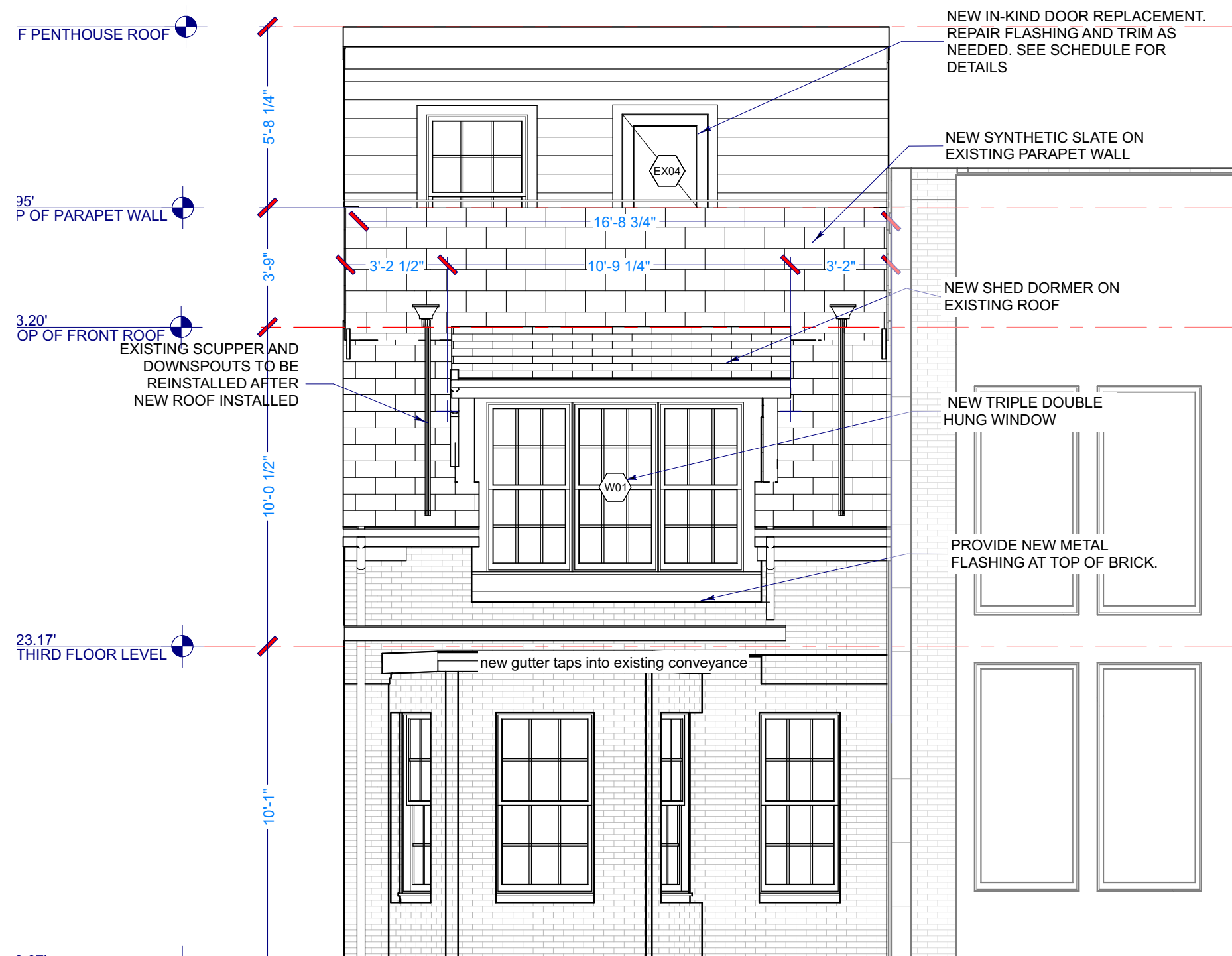
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SECTION THROUGH EXISTING ROOF
 3/8 in = 1 ft



SECTION THROUGH PROPOSED DORMER
 3/8 in = 1 ft



ROOF AND DORMER ELEVATION
 1/4 in = 1 ft



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Dormer details

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